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DATE: SEPTEMBER 22, 2022

REVISION DATES:

PROJECT:

VISTA COMMUNITY CHURCH
5626 FRANTZ RD.
DUBLIN, OHIO 43017

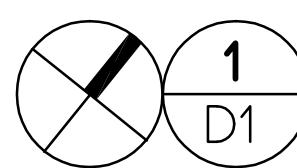
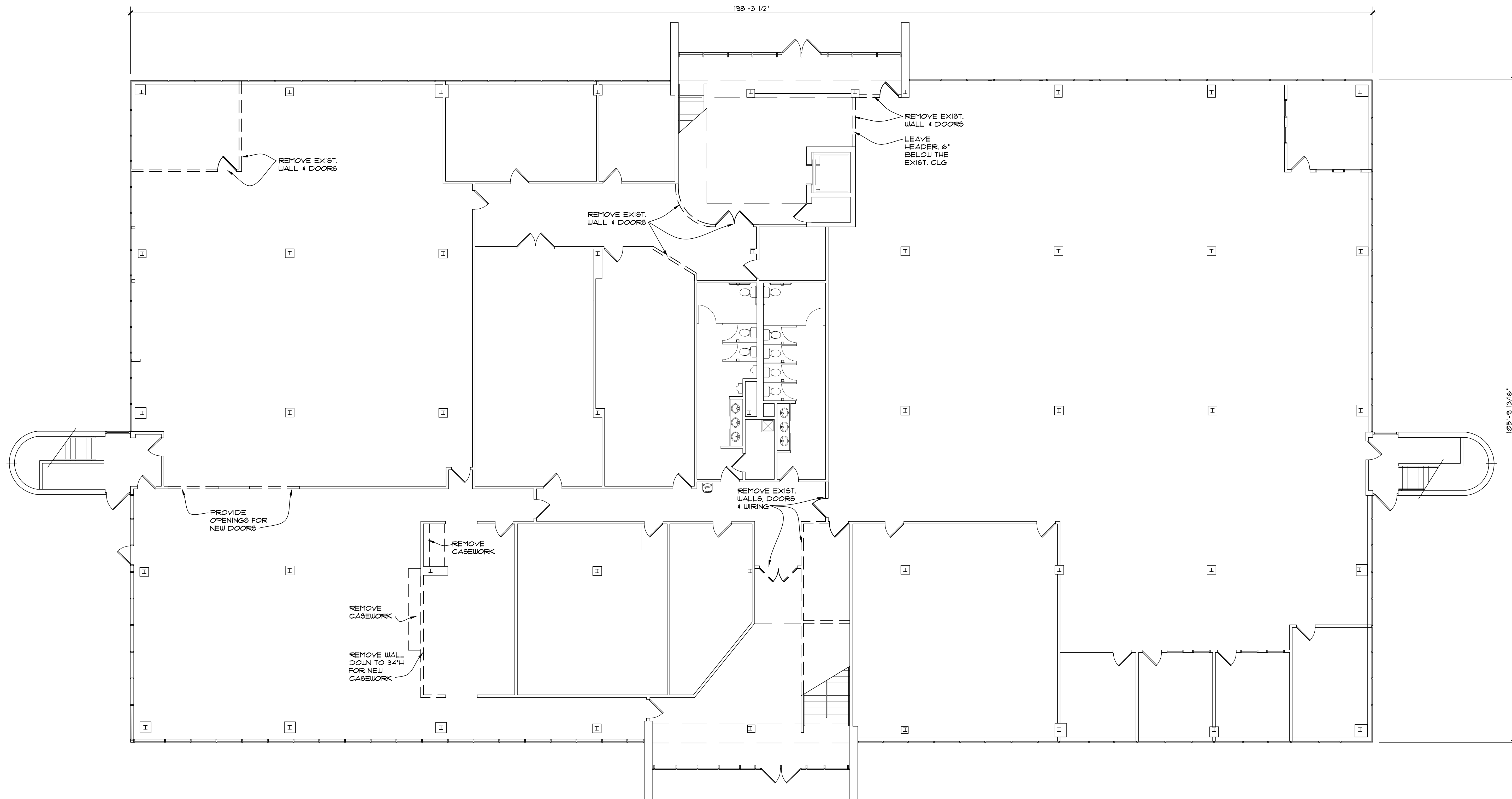
PROJECT NUMBER: CA202175

SHEET TITLE:

FIRST FLOOR EXISTING/
DEMO PLAN/NOTES

SHEET NUMBER:

D1



FIRST FLOOR EXISTING/DEMO PLAN

1/8" = 1'-0"

LEGEND:

- WALL SHALL REMAIN
- - - WALLS SHALL BE DEMO'D

DEMO GENERAL NOTES:

1. ALL INTERIOR WALLS, FIXTURES & CEILING INDICATED ARE BEING REMOVED & ARE NON BEARING BACK TO AN EMPTY SPACE.
2. BEFORE REMOVAL OF INTERIOR BLOCK WALL COORD. W/ THE NEW PLANS & THE OWNER
3. COORD. W/ THE NEW PLANS FOR REMOVAL OF ALL MATERIALS NOT INDICATED ON THE DEMO DWGS.
4. REMOVE ANY & ALL VEGETATION & PLANTS AGAINST OR CLOSE TO THE BLDG, FIELD VERIFY
5. ALL EXISTING WOOD BLOCKING OR FRAMING SHALL BE REMOVED.
6. REMOVE & DISPOSE ALL EXISTING FLOOR COVERINGS THROUGHOUT DEMO'D SPACE AS INDICATED. SUB FLOOR MUST BE SMOOTH, LEVEL, UNIFORM & STRUCTURALLY SOUND CONCRETE FLOOR READY TO RECEIVE NEW FLOORING. REMOVE FLOOR ADHESIVE & PREP FINISH FOR THE OWNER'S NEW FLOOR FINISH.
7. VERIFY CEILING REGISTERS & DUCT WORK. SEE THE MECHANICAL SHEET BY OTHERS NEW WORK.
8. VERIFY EXISTING MECH, PLUMBING & ELECTRICAL IN EXISTING DEMO'D AREAS BEING REMOVED. COORD. NEW LOCATIONS W/ THE OWNER & NEW ENGINEERING SHEETS.
9. CUT, CAP, PATCH & REMOVE ALL EXISTING FLOOR RECEPTACLES, FLOOR CONDUIT & PLUMBING LINES THAT PENETRATE THE FLOOR.
10. REMOVE & DISPOSE OF EXISTING FURNITURE, FIXTURES & EQUIPMENT. COORD. W/ THE OWNER.
11. THERE ARE NEW SLAB TRENCHES REQUIRED FOR THE NEW PLUMBING, SEE THE ATTACHED PLUMBING SHEETS.

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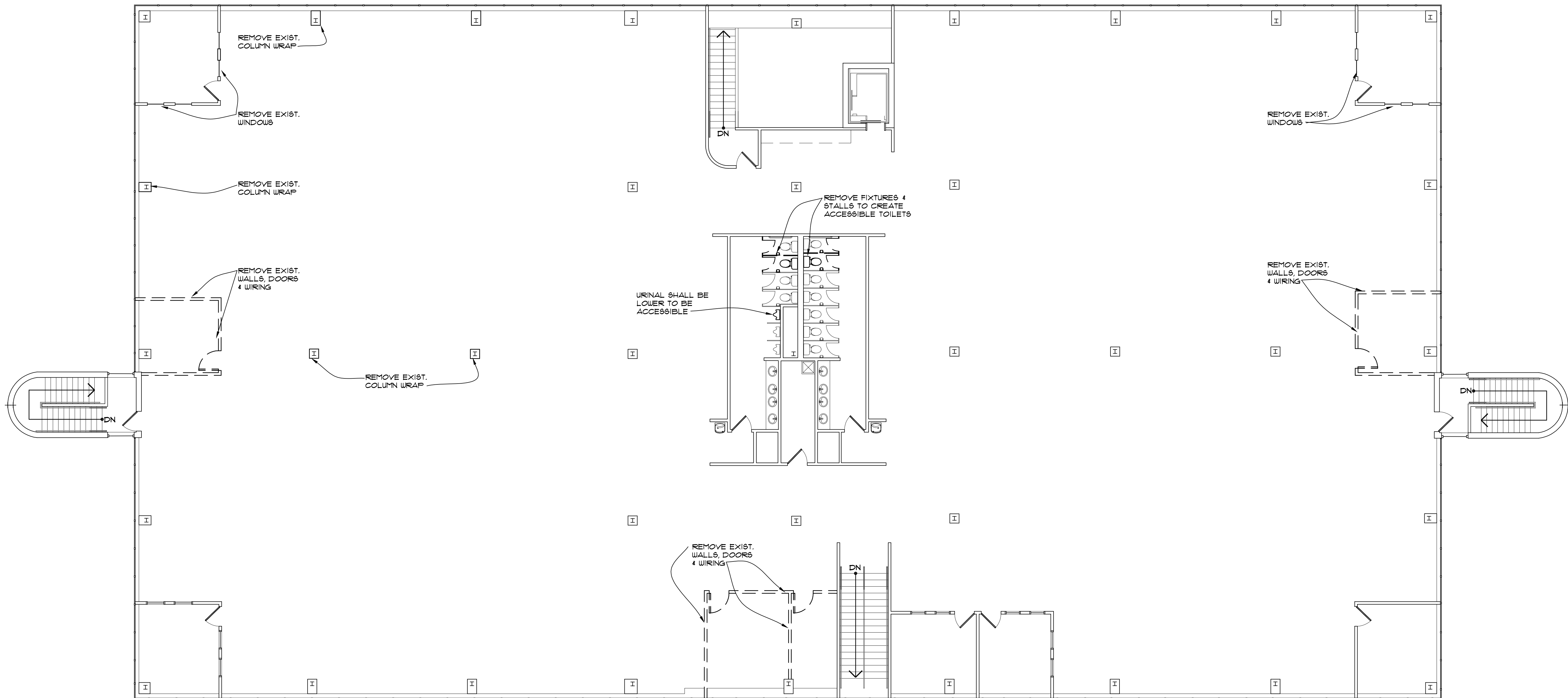
PROJECT NUMBER: CA202175

SHEET TITLE:

**SECOND FLOOR EXISTING/
DEMO PLAN/NOTES**

SHEET NUMBER:

D2



1
D2 **SECOND FLOOR EXISTING/DEMO PLAN**
1/8" = 1'-0"

LEGEND:
 ——— WALL SHALL REMAIN
 - - - - - WALLS SHALL BE DEMO'D

DEMO GENERAL NOTES:

- ALL INTERIOR WALLS, FIXTURES & CEILING'S INDICATED ARE BEING REMOVED & ARE NON BEARING BACK TO AN EMPTY SPACE.
- BEFORE REMOVAL OF INTERIOR BLOCK WALL COORD. W/ THE NEW PLANS & THE OWNER
- COORD. W/ THE NEW PLANS FOR REMOVAL OF ALL MATERIALS NOT INDICATED ON THE DEMO DIAG.
- REMOVE ANY & ALL VEGETATION & PLANTS AGAINST OR CLOSE TO THE BLDG, FIELD VERIFY
- ALL EXISTING WOOD BLOCKING OR FRAMING SHALL BE REMOVED.
- REMOVE & DISPOSE ALL EXISTING FLOOR COVERINGS THROUGHOUT DEMO'D SPACE AS INDICATED. SUB FLOOR MUST BE SMOOTH, LEVEL, UNIFORM & STRUCTURALLY SOUND CONCRETE FLOOR READY TO RECEIVE NEW FLOORING. REMOVE FLOOR ADHESIVE & PREP FINISH FOR THE OWNER'S NEW FLOOR FINISH.
- VERIFY CEILING REGISTERS & DUCT WORK. SEE THE MECHANICAL SHEET BY OTHERS NEW WORK.
- VERIFY EXISTING MECH, PLUMBING & ELECTRICAL IN EXISTING DEMO'D AREAS BEING REMOVED, COORD. NEW LOCATIONS W/ THE OWNER & NEW ENGINEERING SHEETS.
- CUT, CAP, PATCH & REMOVE ALL EXISTING FLOOR RECEPTACLES, FLOOR CONDUIT & PLUMBING LINES THAT PENETRATE THE FLOOR.
- REMOVE & DISPOSE OF EXISTING FURNITURE, FIXTURES & EQUIPMENT. COORD. W/ THE OWNER.
- THERE ARE NEW SLAB TRENCHES REQUIRED FOR THE NEW PLUMBING. SEE THE ATTACHED PLUMBING SHEETS.

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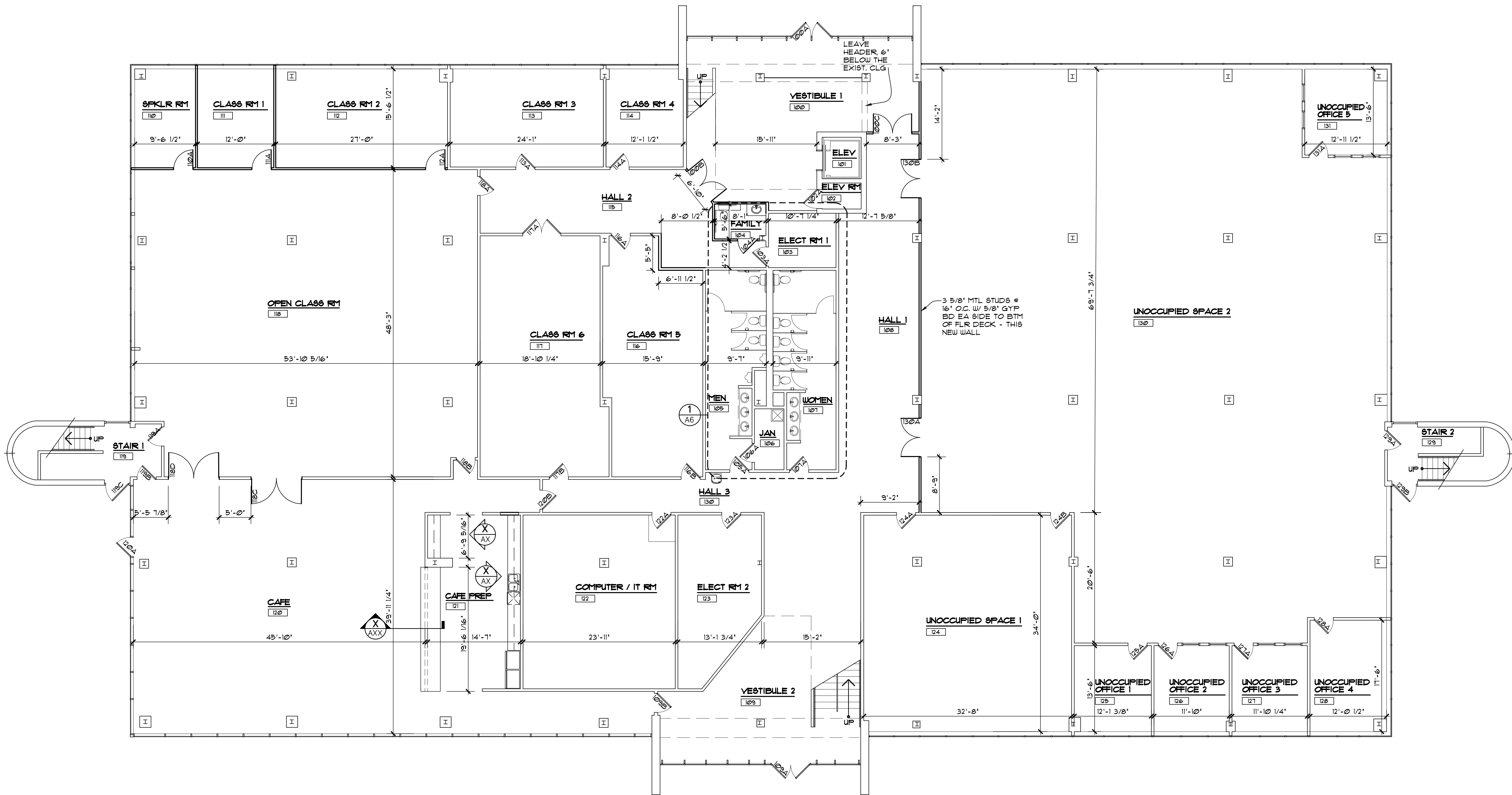
PROJECT NUMBER: CA202175

SHEET TITLE:

FIRST FLOOR BUILDING
PLAN/NOTES

SHEET NUMBER:

A1



 **FIRST FLOOR BUILDING PLAN**
1/8" = 1'-0"

NOTES:

SEE SHEET A3 FOR THE PLAN NOTES

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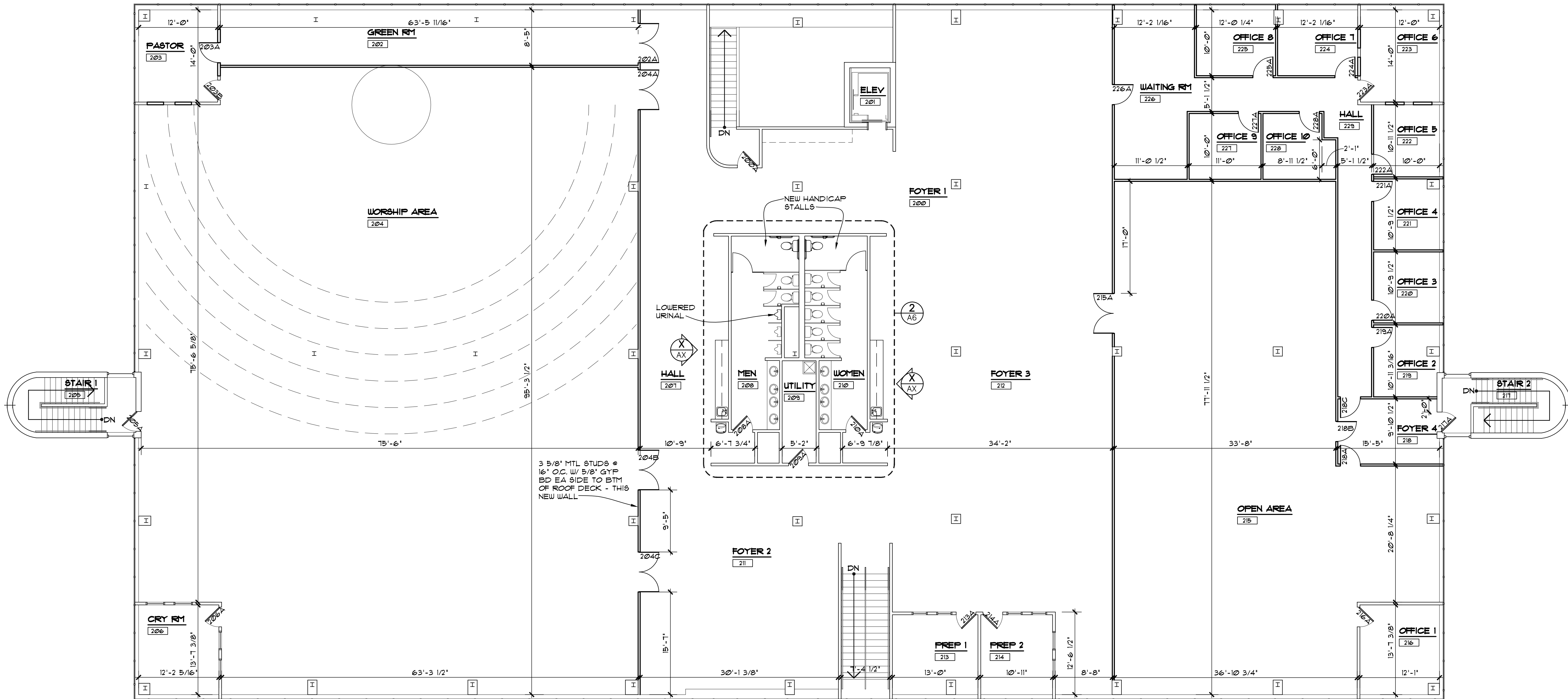
PROJECT NUMBER: CA202175

SHEET TITLE:

SECOND FLOOR BUILDING PLAN

SHEET NUMBER:

A2



1 SECOND FLOOR BUILDING PLAN
1/8" = 1'-0"

NOTE:
SEE SHEET A3 FOR ALL PLAN NOTES



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PROJECT NUMBER: CA202175

SHEET TITLE:

PLAN GENERAL NOTES

SHEET NUMBER:

A3

PLAN GENERAL NOTES:

- THIS IS AN EXISTING 2 STORY OFFICE BUILDING, NON-COMBUSTIBLE BUILDING. THIS BUILDING SHALL BE GETTING A SPRINKLER SYSTEM THRU OUT. THE NEW OWNERS WILL BE CHANGING THE USE TO MIXED USE, A-3 - RELIGIOUS & B - BUSINESS
- COMPLY W/ APPLICABLE LOCAL, STATE, & FEDERAL CODES & REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY & ENVIRONMENTAL PROTECTION
- INTERIOR STUD WALLS SHALL BE NON-BRG 3 5/8" & 6" x 22 GA. MTL. STUDS @ 16" O.C., 12'-0" HIGH. ALL DIMENSIONS ARE TO THE FACE OF NEW METAL STUDS & FACE OF EXISTING WALLS. ALL NEW WALLS SHALL BE COVERED W/ 5/8" GYP. BD., FULL HEIGHT, UNLESS NOTED OTHERWISE, COORD. W/ THE OWNER.
- IF DIMENSIONS ARE IN QUESTION - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE OWNER OR ARCHITECT BEFORE CONTINUING W/ CONSTRUCTION.
- INSTALL GREEN BOARD IN ANY NEW WET CONDITION. INSTALL GREEN BOARD MIN. 8'-0" HIGH ON THE TOILET WET WALLS.
- PROVIDE TOP OF WALL BRACING ABOVE CEILING OR DIAGONAL WHERE & AS REQ'D. WALL BRACING SHOWN DIAGONAL ON TOP OF THE WALLS. SEE THE BUILDING PLANS, VERIFY LOCATION W/ FIELD CONDITIONS.
- SEAL ALL EXISTING OPENINGS IN THE EXTERIOR, INTERIOR WALLS & FLOOR SYSTEM ABOVE VERIFY ALL CONDITIONS. SEAL OPENINGS W/ MATERIALS COMPATIBLE W/ ADJACENT CONSTRUCTION OR RATED ASSEMBLY AS REQUIRED.
- IF WOOD IS USED FOR BLOCKING, ALL WOOD IN CONTACT W/ CONCRETE SHALL BE PRESSURE-TREATED. FASTENERS SHALL COMPLY W/ APPLICABLE CODES. IN ALL CONDITIONS WHERE PRESSURE-TREATED WOOD IS USED, FASTENERS, ANCHOR BOLTS, WASHERS, NAILS, ETC. SHALL BE TRIFLE HOT DIPPED OR STAINLESS STEEL.
- PROVIDE IN-WALL BLOCKING AS REQUIRED FOR ALL TOILET ACCESSORIES, CABINETS, WALL MOUNTED MONITORS, WALL MOUNTED LIGHT FIXTURES, GRAB BARS & ANY REQUIREMENTS BY THE OWNER. ALL IN-WALL BLOCKING SHALL BE WOOD OR METAL FRAMING.
- FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERT. & HORIZ.) & TO FORM AN EFFECTIVE FIRE STOP.
- PER OBC 717.2.2 FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT THE CEILING AND FLOOR LEVELS. B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
- THE EQUIPMENT ROUGH-INS AS SHOWN ARE BASED UPON AVAILABLE INFORMATION. HOWEVER, IN SOME INSTANCES, THE OWNER OR SUPPLIER MAY SUBSTITUTE OR THE EQUIPMENT ITEM MAY VARY FROM WHAT IS SHOWN, THEREFORE, THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS W/ THE SUPPLIER & OWNER PRIOR TO CONSTRUCTION, FAILURE OF THE CONTRACTOR TO VERIFY THESE DIMENSIONS SHALL PLACE THE RESPONSIBILITY FOR ANY SUBSEQUENT RELOCATION DIRECTLY ON THE CONTRACTOR.
- VERIFY W/ THE OWNER CONCERNING ALL EQUIPMENT BEFORE ORDERING & ROUGH-INS ARE COMPLETED & GYP BOARD IS INSTALLED
- SEE SHEET **AX** FOR THE FINISH PLAN & SHEET **AX** FOR FINISH SCHEDULE.
- ALL FINISH COLOR OF THE DOOR HARDWARE, CABINET HARDWARE, LIGHT FIXTURES & ANY METAL FINISH SHALL MATCH, COORDINATE W/ THE OWNER.
- SEE SHEET **AX** FOR THE DOOR SCHEDULE '100A'. DOORS SHALL BE INSTALLED A MIN. OF 4 1/2" AWAY FROM THE PERPENDICULAR WALL. FOR CLOSETS, THE DOOR SHALL BE CENTERED IN THE WALL. UNLESS NOTED OTHERWISE.
- ALL OF THE ENTRY DOORS SHALL REMAIN UNLOCKED WHEN THE SPACE IS OCCUPIED. THE EGRESS LOCKING DEVICE SHALL BE DISTINGUISHABLE AS LOCK OR UNLOCK OR THE LOCKING DEVICE SHALL ALWAYS BE UNLOCK FROM THE INSIDE. ADD NOTE ON THE DOOR 'THIS DOOR IS TO REMAIN UNLOCKED WHILE THE BUILDING IS OCCUPIED'. OPTION FOR ALL OF THE EXIT DOORS TO HAVE PANIC HARDWARE & THEN THE SIGN IS NOT REQUIRED.
- THERE SHALL BE A FLOOR OR LANDING ON BOTH SIDES OF ALL DOORS. SUCH FLOOR OR LANDING SHALL BE @ THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR THE EXTERIOR LANDINGS WHICH ARE PERMITTED TO HAVE A SLOPE NOT EXCEEDING 1:50.
- PREPARE SLAB TO RECEIVE FINISH MATERIAL TO INCLUDE FLOOR PATCH, LEVELING, CLEANING, ETC. TO ACHIEVE FINAL FINISH MANUFACTURER'S RECOMMENDATIONS FOR SMOOTHNESS & FLATNESS. THE SLAB SHALL BE REPAIRED & PATCHED AS NEEDED. USE QUICK DRYING CONCRETE MIX FOR SLAB REPAIR WORK AS REQUIRED, COORD. W/ THE BUILDING OWNER.
- FE - BRACKET WALL MOUNTED - FIRE EXTINGUISHERS PER OBC, NFPA 10, OHIO FIRE CODE & LOCAL FIRE MARSHALL. PROVIDE (X) MULTI-PURPOSE DRY CHEMICAL, ABC RATING, 10 POUND, WALL HUNG FIRE EXTINGUISHERS (ONE AT EACH EXIT DOOR). UNLESS AUTHORITY HAVING JURISDICTION DIRECTS OTHERWISE. INSTALL 90 THE CENTER OF THE HANDLE IS MAX. 48" AFF.
- SEE ENLARGED TOILET PLANS SHEET **AX** FOR TOILET ACCESSORIES
- THE CONTRACTOR SHALL PROVIDE AN ADA-APPROVED WALL SIGN FOR EACH OF THE TOILET ROOMS. SEE DETAIL ON THE ACCESSIBILITY SHEET.
- THE CONTRACTOR SHALL PROVIDE AN ADA-APPROVED WALL TACTILE EXIT SIGN FOR EACH EXIT DOOR OF THE SPACE. SEE DETAIL ON ACCESSIBILITY SHEET.
- ALL OF THE ENTRY & EXIT DOORS SHALL REMAINED UNLOCK WHEN THE SPACE IS OCCUPIED. ALL OF THE EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE W/ OUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- THE ACCESSIBILITY SHEET IN THIS SET SHALL TAKE PRECEDENT OVER ALL OTHER SHEETS. SEE ACCESSIBILITY SHEET FOR ALL REQUIREMENTS.
- PER OBC 1003.3.1B: IN BUILDINGS IN OCCUPANCY GROUP 'A' HAVING AN OCCUPANT LOAD OF 300 OR LESS, GROUPS 'B', 'F', 'M', 'S' AND IN CHURCHES, THE MAIN EXTERIOR DOOR OR DOORS IS PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED: A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING: 'THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED', THE SIGN SHALL BE LETTERS 1" HIGH ON A CONTRASTING BACKGROUND.
- THE OPTIONAL INSULATION MATERIAL CONCEALED WITHIN THE WALLS SHALL HAVE A FLAME SPREAD RATING OF 75 OR LESS. THE SMOKE DEVELOPMENT RATING SHALL BE 450 OR LESS. THE INTERIOR LOCATIONS IS INDICATED IN THE PLANS, DECIDED BY THE OWNER. THE OWNER WANTS AN OPTION TO ADD EITHER BATT INSULATION ABOVE THE CEILINGS AS INDICATED FOR SOUND.
- ALL CONTRACTORS SHALL OBTAIN A COMPLETE SET OF PLANS & BE FAMILIAR W/ THE ENTIRE PROJECT IN ORDER TO UNDERSTAND THE COMPLETE SCOPE OF THE PROJECT.
- MAINTAIN CLEAN WORK SITE ON A DAILY BASIS.
- SOME OF THE EQUIPMENT LISTED IN THE EQUIPMENT SCHEDULE SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL EQUIPMENT, DOOR HARDWARE, CABINETS, PLUMBING FIXTURES, MECHANICAL GRILLES, EXPOSED ELECTRICAL DEVICES & LIGHT FIXTURES SHALL BE VERIFIED W/ THE OWNER & PROVIDE CUT SHEETS BEFORE PURCHASING OR ORDERING. SUBSTITUTIONS CAN ONLY BE APPROVED BY THE OWNER BEFORE ORDERING.
- THE ARCHITECT IS NOT RESPONSIBLE TO UNCOVER, INVESTIGATE, EXAMINE, TEST, ANALYZE, OR PRESENT METHODS TO MITIGATE CORRECT OR ELIMINATE THE FOLLOWING CONDITIONS THAT MAY OR MAY NOT BE PRESENT AT THE SITE: ASBESTOS, MOLD, RADON, LEAD, ROT, WATER/MOISTURE, ENVIRONMENTAL PROBLEMS, HAZARDOUS MATERIALS, POLLUTANTS, GENERAL DETERIORATION, DETERIORATION OF STRUCTURE & NON STRUCTURAL MEMBERS INADEQUATE SOILS/BEARING CAPACITY, INSECT INFESTATION, TESTING & ADEQUACY OF ELECTRIC/PLUMBING/MECHANICAL SYSTEMS/EQUIPMENT, SUB-SURFACE CONDITIONS, ABOVE GROUND/UNDER GROUND UTILITIES, PREVIOUSLY INSTALLED MATERIALS & WORKMANSHIP.

SPRINKLER SYSTEM NOTES

THE EXISTING BUILDING SHALL HAVE A SPRINKLER SYSTEM. SPRINKLER SYSTEM SHALL BE DESIGNED BY A CERTIFIED SPRINKLER CONTRACTOR.

CONSTRUCTION DRAWINGS OR SHOP DRAWINGS, OR BOTH, FOR THE INSTALLATION OF FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO INDICATE CONFORMANCE TO SECTION 903.3.12 OF THE OBC & SHALL BE REVIEWED BY THE BUILDING DEPARTMENT PRIOR TO ISSUANCE OF A PERMIT.

SPRINKLER CONTRACTOR SHALL SUBMIT FOR SPRINKLER PERMIT & SHALL BE RESPONSIBLE FOR ALL REQUIRED INSPECTIONS.

SPRINKLER CONTRACTOR SHALL COORDINATE SPRINKLER HEAD LOCATIONS W/ THE ARCHITECT & OWNER. COORD. W/ THE WALL CONSTRUCTION, CEILINGS & LIGHTING PLAN

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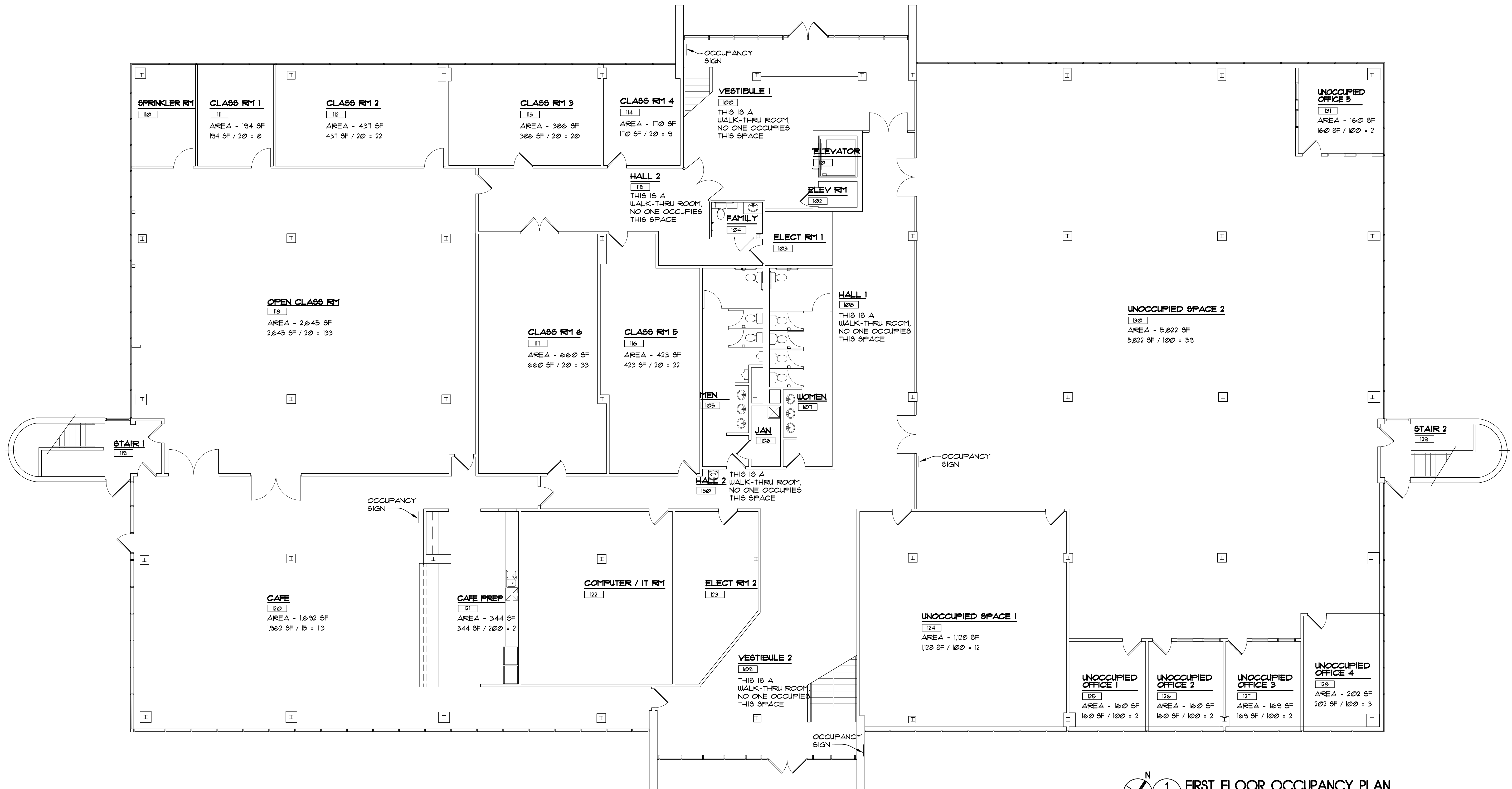
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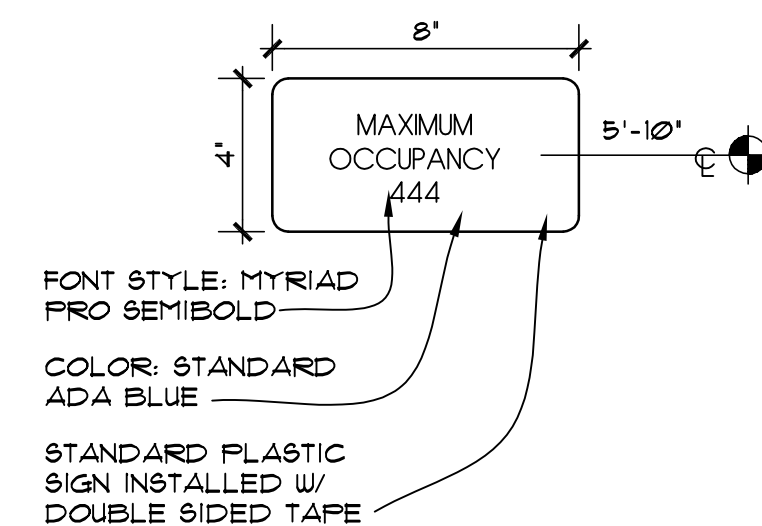
FIRST FLOOR
OCCUPANCY PLAN

SHEET NUMBER:

A4



N
1
A4
1/8" = 1'-0"



OCCUPANCY SIGN
N.T.S.

FIRST FLOOR AREA:
BLDG AREA: 21,750 SF

FIRST FLOOR OCCUPANCY:

OFFICE AREA:	82
CLASS ROOM AREA:	241
CAFE / CAFE PREP	115
TOTAL OCCUPANCY:	444

TOILET COUNT:

- PER OBC - TABLE 2902.1 - CLASSROOM AREA - 1 PER 50, MEN 4 WOMEN, CLASSROOM USE 3 TOILETS REQUIRED.
- BUSINESS AREA - 1 PER 50, MEN 4 WOMEN, BUSINESS USE 5 TOILETS REQUIRED.
- TOILET FIXTURES ARE EXISTING OR NEW.

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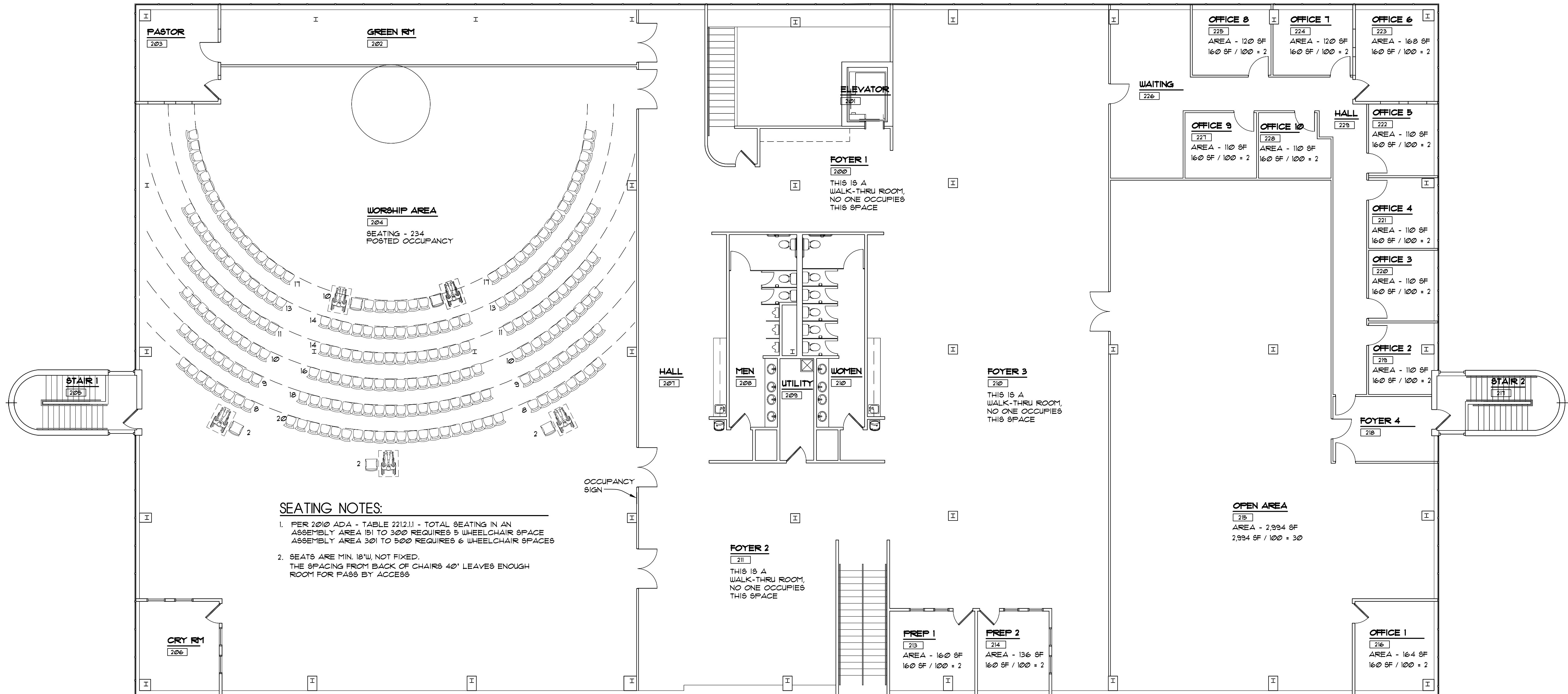
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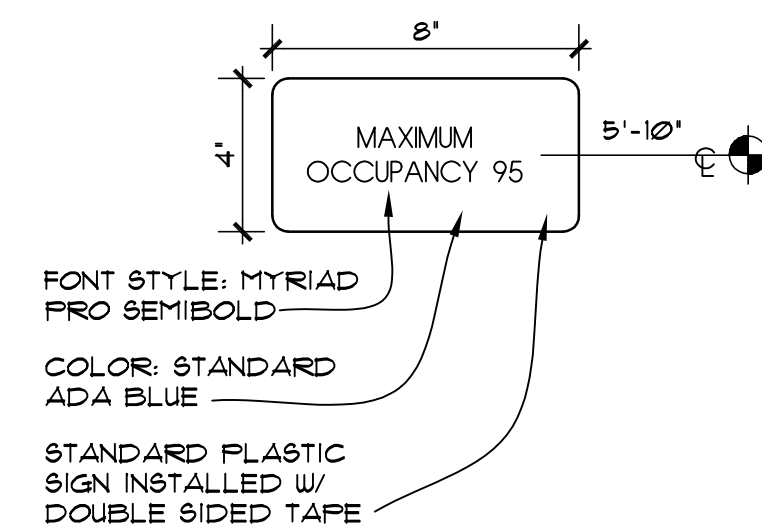
SECOND FLOOR
OCCUPANCY PLAN

SHEET NUMBER:

A5



1 SECOND FLOOR OCCUPANCY PLAN
1/8" = 1'-0"



OCCUPANCY SIGN

N.T.S.

SECOND FLOOR AREA:

BLDG AREA: 20,829 SF

SECOND FLOOR OCCUPANCY:

WORSHIP AREA:	234
OFFICE AREA:	58
TOTAL OCCUPANCY:	292

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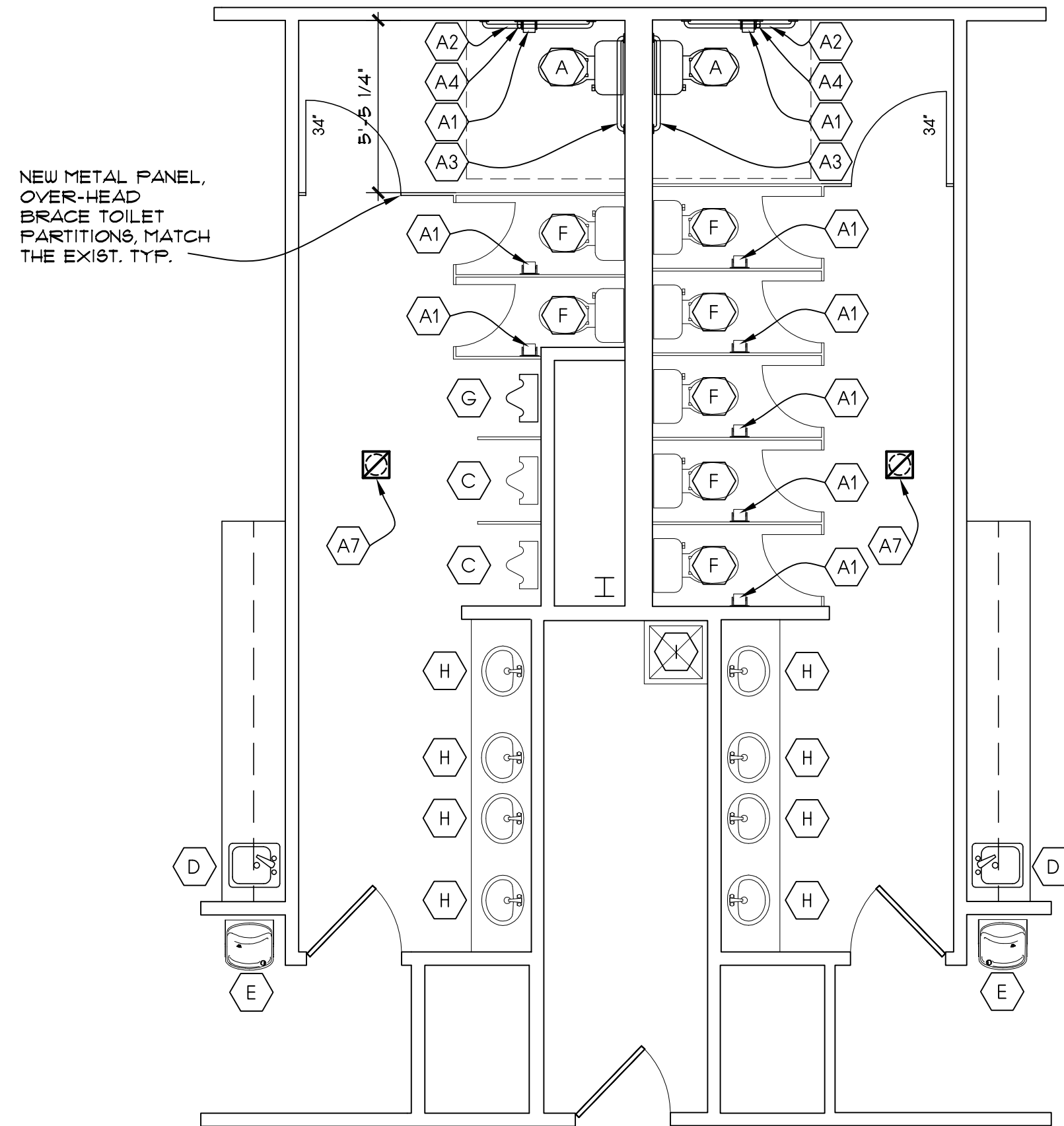
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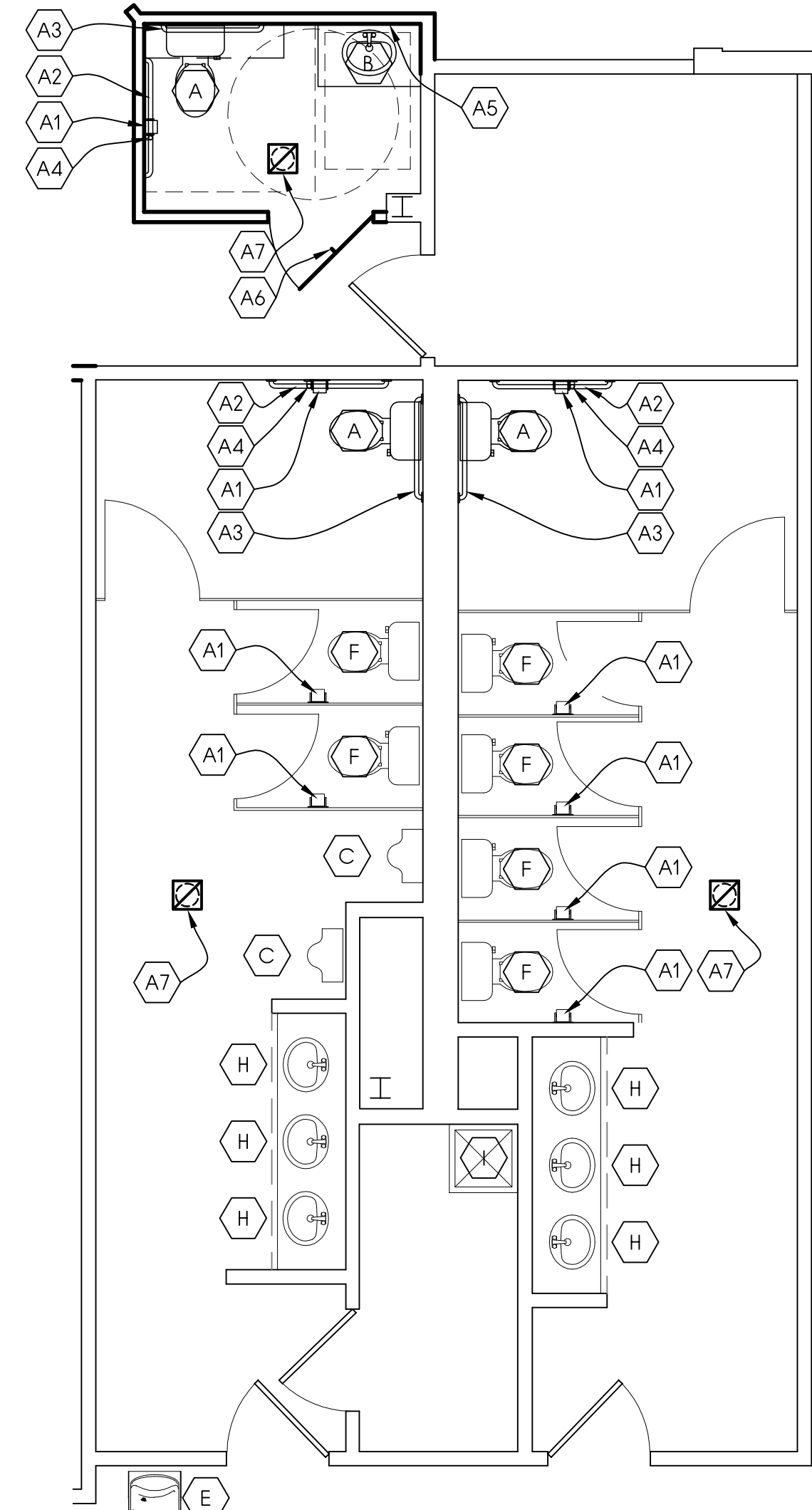
ENLARGED TOILET PLANS/
DETAILS

SHEET NUMBER:

A6



2 SECOND FLOOR ENLARGED TOILET PLAN
A6 1/4" = 1'-0"



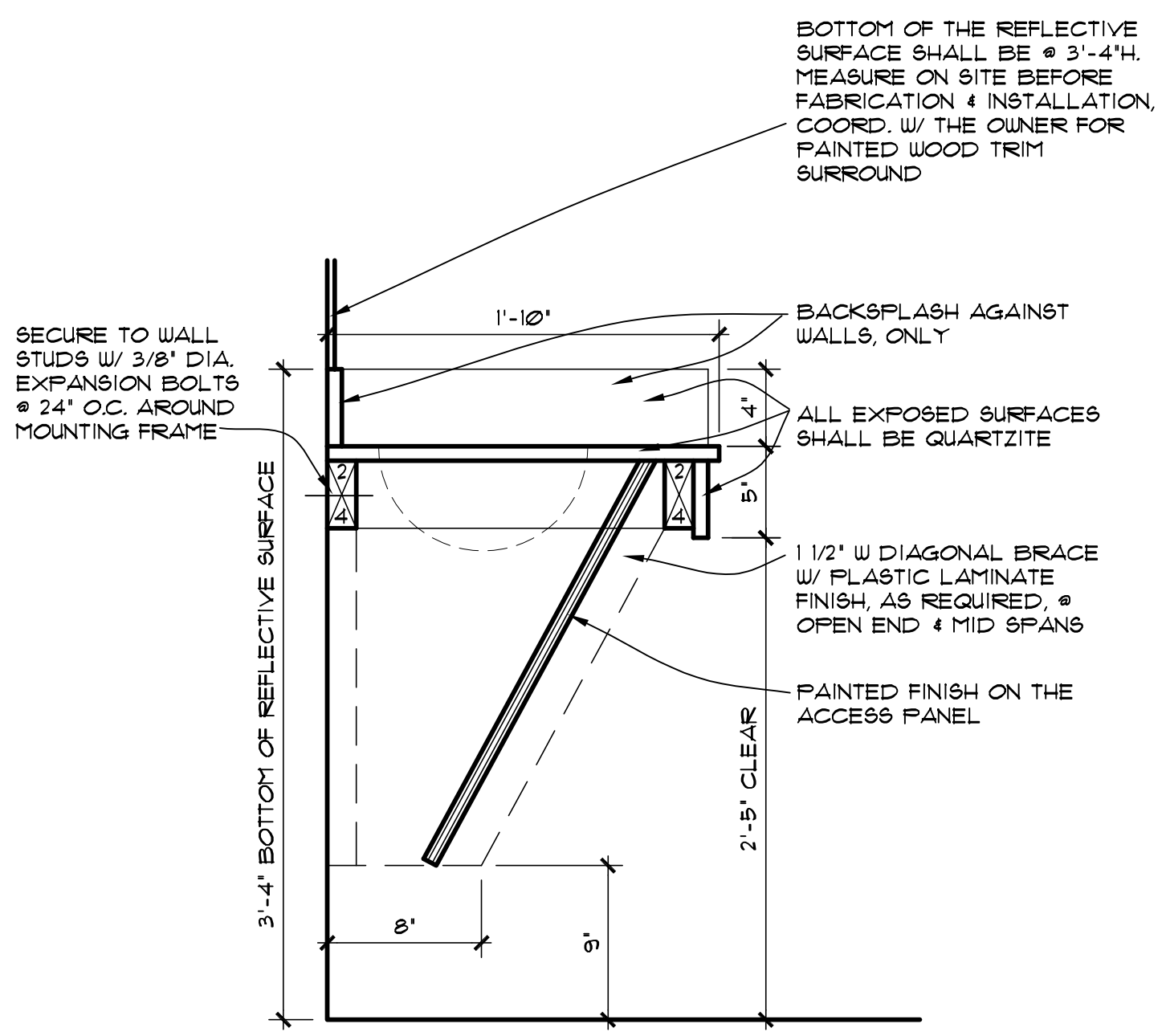
1 FIRST FLOOR ENLARGED TOILET PLAN
A6 1/4" = 1'-0"

PLUMBING NOTES

- TOILET FLUSH CONTROLS SHALL BE OPERABLE W/ ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR, THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS/FT.
- A CLEAR FLOOR SPACE 30" WIDE BY 48" LONG SHALL BE PROVIDED IN FRONT OF THE LAVATORY TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE & SHALL EXTEND INTO KNEE & TOE SPACE UNDERNEATH THE LAVATORY.
- HOT WATER & DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACE UNDER LAVATORIES.
- FAUCET CONTROLS & OPERATING MECHANISMS SHALL BE OPERABLE W/ ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING, FINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE THE CONTROLS SHALL BE NO GREATER THAN 5 LBS/FT. LEVER PUSH-TYPE & ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGN. SELF CLOSING VALVES ARE ALLOWED IF THE FAUCETS REMAIN OPEN FOR AT LEAST 10 SECONDS.
- FLUSH HANDLES SHALL BE ON THE WIDE SIDE OF ROOM IN ALL TOILET STALLS.
- MIRRORS SHALL BE MOUNTED W/ BOTTOM EDGE NOT MORE THAN 40" FROM THE FLOOR.
- LOCATE TOILET TISSUE DISPENSERS ON THE WALL WITHIN 12" OF THE FRONT EDGE OF THE TOILET SEAT.
- GRAB BARS, FASTENERS & MOUNTING DEVICES SHALL BE DESIGNED FOR 250 LBS./LINEAR FT. LOAD.
- ALL GYP. BD. & WET WALLS SHALL BE WATER RESISTANT, 8'-0" HIGH MIN. TYPE IN ALL RESTROOMS.
- FIXTURES TYPE SPEC'ED ON PLUMBING DRAWINGS, COORDINATE W/ THE OWNER BEFORE ORDERING.
- PROVIDE A SIGN OUTSIDE OF EACH RESTROOM INDICATING THE SEX FOR EACH RESTROOM & THAT IT IS ADA COMPLIANT PER OBC 23022
- THE EQUIPMENT ROUGH-INS AS SHOWN ARE BASED UPON AVAILABLE INFORMATION. HOWEVER IN SOME INSTANCES THE OWNER OR SUPPLIER MAY SUBSTITUTE OR THE EQUIPMENT ITEM MAY VARY FROM WHAT IS SHOWN. THEREFORE THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS W/ THE OWNER PRIOR TO CONSTRUCTION. FAILURE OF THE CONTRACTOR TO VERIFY THESE DIMENSIONS SHALL PLACE THE RESPONSIBILITY FOR ANY SUBSEQUENT RELOCATION DIRECTLY ON THE CONTRACTOR.
- PROVIDE SOLID IN-WALL BLOCKING AS REQUIRED FOR ALL TOILET ACCESSORIES & CASEWORK, METAL STUDS OR FIRE TREATED WOOD BLOCKING.
- THE ACCESSIBILITY SHEET IN THIS SET SHALL TAKE PRECEDENT OVER ALL OTHER SHEETS. SEE ACCESSIBILITY SHEET IN THIS SET FOR ALL REQUIREMENTS.
- THE CONTRACTOR HAS THE RIGHT TO SUBSTITUTE THE MANUFACTURER OF THE PLUMBING ACCESSORIES AS LONG AS THE ACCESSORIES MEETS OR EXCEEDS THE DESIGN REQUIREMENTS AS INDICATED. PROVIDE CUT SHEETS TO THE ARCHITECT & OWNER FOR APPROVAL PRIOR TO SUBSTITUTION.
- THE TOILET STALL COMPARTMENT DOORS SHALL BE GRASPABLE W/ THE REQUIRED CLOSER & SHALL HAVE A CLEAR OPENING OF 32" MIN.

FIXTURE/ACCESSORIES SCHEDULE

NO.	DESCRIPTION	MOUNTING HEIGHT
A	ADA TOILET - SEE PLUMBING SHEETS	
B	ADA LAVATORY (COUNTER TOP) - SEE PLUMBING SHEET	
C	EXIST. URINAL - VERIFY IN GOOD CONDITION FOR REUSE	
D	HAND SINK - SEE PLUMBING SHEET	
E	EXIST. WATER FOUNTAIN - VERIFY IN GOOD CONDITION FOR REUSE	
F	EXIST. TOILETS - VERIFY IN GOOD CONDITION FOR REUSE	
G	ADA URINAL - SEE PLUMBING SHEETS	
H	EXIST. LAV. - VERIFY IN GOOD CONDITION FOR REUSE W/ LEVERS	
I	EXIST. MOP SINK - VERIFY IN GOOD CONDITION FOR REUSE	
NO.	DESCRIPTION	MOUNTING HEIGHT
A1	SURFACE MOUNTED TOILET TISSUE DISPENSER SINGLE ROLL - 36" MAX. FROM REAR WALL	TOP @ 2'-8" AFF
A2	42" GRAB BAR - MOUNT 12" AWAY FROM CORNER	CL @ 3'-0" AFF
A3	36" GRAB BAR - MOUNT 6" AWAY FROM CORNER	CL @ 3'-0" AFF
A4	18" GRAB BAR, VERTICAL - MOUNT 40" AWAY FROM CORNER @ & THE BOTTOM	BOTTOM @ 3'-4" AFF
A5	3'-0"W x 3'-6"H MIRROR	BOTTOM @ 3'-4" AFF, MAX.
A6	COAT HOOK/DOOR STOP	MOUNT CENTERLINE 48" AFF
A7	EXHAUST FAN - SEE MECH. SHEETS	CEILING MOUNTED
* ALTERNATE PLUMBING ACCESSORIES MAY BE SUBSTITUTED W/ OWNER APPROVAL		
** ALL PLUMBING ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.		



3 LAV. DETAIL
A6 1 1/2" = 1'-0"

GENERAL DOOR NOTES:

- COORDINATE OPENINGS & FRAMING W/ CONTRACTOR BEFORE INSTALLATION OF DOORS
- ALL INTERIOR DOORS SHALL BE WOOD, SOLID CORE, FLUSH PANEL, STAIN GRADE, UNLESS NOTED OTHERWISE. DOOR FINISH DETAILS SHALL BE SELECTED BY OWNER. THE DOOR FRAMES SHALL BE HOLLOW METAL. COORD. W/ OWNER BEFORE PURCHASING FROM MFR'S STANDARDS.
- ALL HARDWARE SHALL COMPLY W/ THE LATEST REQUIREMENTS OF ANSI
- ALL HARDWARE FINISH, MATERIAL, KEYING & FUNCTION SHALL BE COORDINATED W/ THE OWNER
- SEE THE BLDG PLAN SHEETS FOR THE EXACT COUNT, SWING & LOCATION OF DOORS REQ'D
- PROVIDE THREE SILENCERS ON ALL HM DOOR FRAMES INSTALLED ON LATCH SIDE OF FRAMES.
- CONTRACTOR SHALL COORD. ALL HARDWARE FUNCTION, SCHEDULE, PURPOSE, ETC. W/ OWNER BEFORE SHOP DRAWINGS, ORDERING & INSTALLATION.
- ALL REQUIRED EXITS SHALL BE ACCESSIBLE & HAVE ACCESSIBLE HARDWARE
- ALL MEANS OF EGRESS SHALL BE READILY OPERABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. ALL OF THE ENTRY DOORS SHALL REMAIN UNLOCK WHEN THE SPACE IS OCCUPIED. THE EGRESS LOCKING DEVICE SHALL BE DISTINGUISHABLE AS LOCK OR UNLOCK OR THE LOCKING DEVICE SHALL ALWAYS BE UNLOCK FROM THE INSIDE.

- PER OBC 1002.1.3.3: IN BUILDINGS IN OCCUPANCY GROUP 'A' HAVING AN OCCUPANT LOAD OF 300 OR LESS, GROUPS 'B', 'F', 'M', 'S' AN IN CHURCHES, THE MAIN EXTERIOR DOOR OR DOORS IS PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED; A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE OR ADJACENT TO THE DOOR STATING: 'THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED'. THE SIGN SHALL BE LETTERS 1" HIGH ON A CONTRASTING BACKGROUND.
- ALL OF THE ENTRY DOORS SHALL REMAIN UNLOCK WHEN THE SPACE IS OCCUPIED. THE EGRESS LOCKING DEVICE SHALL BE DISTINGUISHABLE AS LOCK OR UNLOCK OR THE LOCKING DEVICE SHALL ALWAYS BE UNLOCK FROM THE INSIDE OR PANIC HARDWARE
- INTERIOR HM FRAMES SHALL BE 16 GA. WRAP AROUND, WELDED OR KNOCK DOWN TYPE
- THE CONTRACTOR HAS THE RIGHT TO SUBSTITUTE THE MANUFACTURER OF THE HARDWARE AS LONG AS THE HARDWARE MEETS OR EXCEEDS THE DESIGN REQUIREMENTS AS INDICATED. PROVIDE CUT SHEETS TO THE OWNER FOR APPROVAL PRIOR TO SUBSTITUTION.

HARDWARE MFG.

HINGES:	HAGER CO., BB1210, 4 1/2" OR APPROVED EQUAL
CLOSURE:	NORTON, 8301 W/ HEAVY-DUTY ARMS, OR APPROVED EQUAL
PANIC HARDWARE:	'VON DUPRIN', SERIES 98 OR APPROVED EQUAL. HARDWARE SHALL BE LISTED IN ACCORDANCE WITH UL305, ACTUATING PORTION SHALL EXTEND AT LEAST 1/2 OF THE DOOR LEAF SIZE & MAX. UNLATCHING FORCE SHALL NOT EXCEED 15 POUNDS
LEVERS:	SCHLAGE, D SERIES, ATHENS STYLE MODEL* 606 OR APPROVED EQUAL
ROUND PUSH/PULL SET:	HAGER CO., MODEL #52D-Y-B', OR APPROVED EQUAL. COORDINATE FINISH W/ OWNER
PULL:	HAGER CO., MODEL #10L, 12", OR APPROVED EQUAL. COORDINATE FINISH W/ OWNER
PUSH PLATE:	HAGER CO., MODEL #30P, 6"x16", OR APPROVED EQUAL. COORDINATE FINISH W/ OWNER
ASTRAGAL:	STEELCRAFT 'Z' SHAPE, OR APPROVED EQUAL
DOOR STOP:	HAGER CO., 234W OR APPROVED EQUAL
WEATHER STRIPPING:	FEMKO MODEL* 18062CF, OR APPROVED EQUAL
DOOR SWEEP:	FEMKO MODEL* 216BDCFG, OR APPROVED EQUAL
THRESHOLD:	FEMKO, SADDLE THRESHOLD, MODEL #11A OR APPROVED EQUAL

HARDWARE KEY

- A. 1 1/2 PR. HEAVY DUTY TAMPER PROOF BB HINGES
- B. 1 1/2 PR. HEAVY DUTY BALL BEARING HINGES
- C. CLOSER
- D. PANIC BAR EGRESS HARDWARE
- E. ENTRANCE LOCK SET - LEVER
- F. OFFICE LOCK SET - LEVER
- G. PASSAGE LATCH SET - LEVER
- H. PRIVACY LOCK SET - LEVER
- I. REMOTE RELEASE 'BUZZ-IN' MAGNETIC LOCK
- J. ROUND PUSH/PULL SET
- K. PULL
- L. PUSH PLATE
- M. ASTRAGAL, DOOR-MOUNTED ON INACTIVE LEAF
- N. DOOR STOP - WALL MOUNTED
- O. WEATHER STRIPPING
- P. BOTTOM DOOR SWEEP
- Q. HANDICAP ALUMINUM THRESHOLD
- R. TRIMLESS DOOR FRAME W/ CONCEALED HINGE & PUSH BUTTON LATCH

DOOR, HARDWARE & FRAME SCHEDULE

NO.	DOOR			RATING	HARDWARE	FRAME			DETAILS	REMARKS
	SIZE	MATERIAL	ELEV			MATERIAL	PROFILE	ELEVATION		
100A	PR 3'-0" x 7'-0" x 1 3/4"	ALUM	---			ALUM	---	---		N1
100B	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
100C	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
102A	3'-0" x 7'-0" x 1 3/4"	HM	---			HM	---	---		N2
103A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
104A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
105A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
106A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
107A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
109A	PR 3'-0" x 7'-0" x 1 3/4"	ALUM	---			ALUM	---	---		N1
109B	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
110A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
111A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
112A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
113A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
114A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
116A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
116B	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
117A	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
117B	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
118A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
118B	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
118C	PR 4'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
118D	PR 4'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
119A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
119B	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
119C	3'-0" x 7'-0" x 1 3/4"	ALUM	---			ALUM	---	---		N1
120A	3'-0" x 7'-0" x 1 3/4"	ALUM	---			ALUM	---	---		N1
120B	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
122A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
123A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
124A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N3
124B	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N3
125A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
126A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
127A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
128A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
129A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
129B	3'-0" x 7'-0" x 1 3/4"	ALUM	---			ALUM	---	---		N1
130A	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
130B	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
131A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
200A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
202A	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
203A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
203B	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N4
204A	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
204B	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
204C	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
205A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
206A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N4
208A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N4
209A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N4
210A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N4
213A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N4
214A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N4
215A	PR 3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
216A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N4
217A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		N3
218A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
218B	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
218C	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
219A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
220A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
221A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
222A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
223A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			WOOD	2A/A7	3A/A7		N4
224A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
225A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
226A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
227A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		
228A	3'-0" x 7'-0" x 1 3/4"	WOOD	1A/A7			HM	2A/A7	3A/A7		



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DATE: SEPTEMBER 22, 2022

REVISION DATES:

PROJECT:

VISTA COMMUNITY CHURCH
5626 FRANTZ RD.
DUBLIN, OHIO 43017

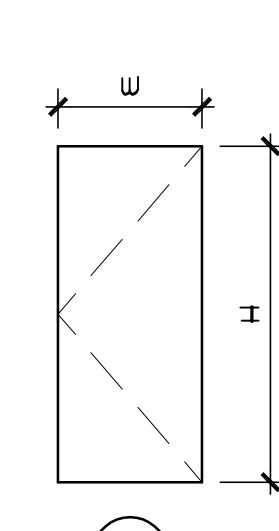
PROJECT NUMBER: CA202175

SHEET TITLE:

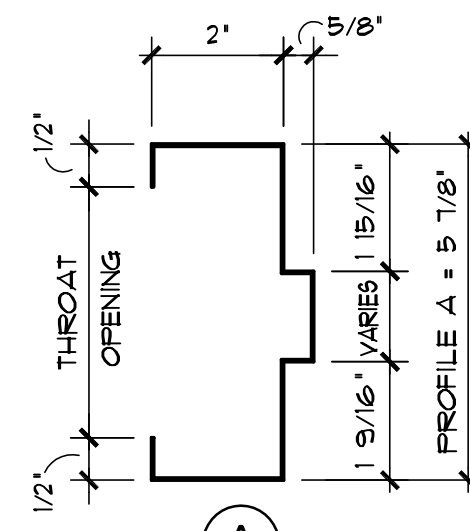
DOOR SCHEDULE/NOTES

SHEET NUMBER:

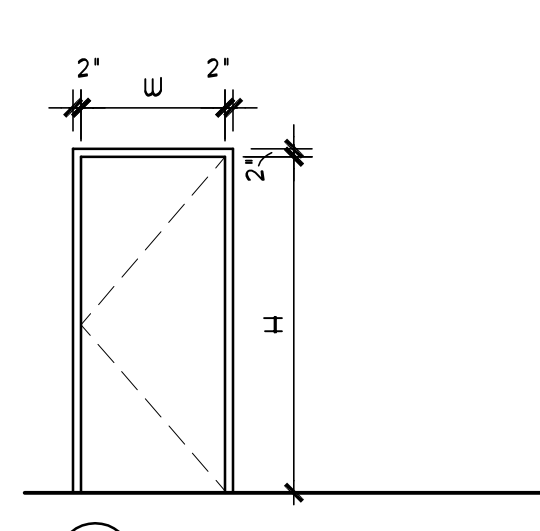
A7



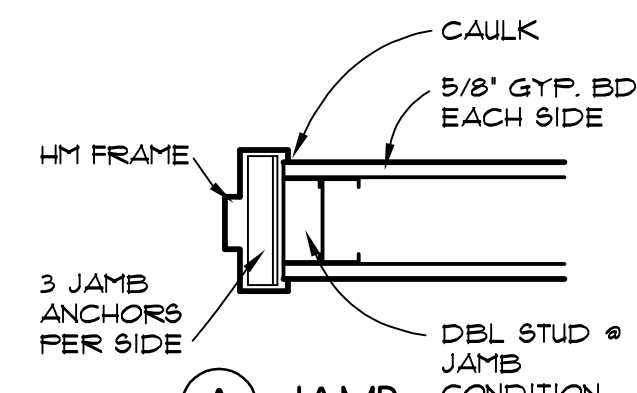
1 DOOR ELEV.
A7 N.T.S.



2 FRAME PROFILES
A7 N.T.S.



3 FRAME ELEVATIONS
A7 1/4" = 1'-0"



4 DETAILS
A7 1 1/2" = 1'-0"

No.	DOOR REMARKS
N1	EXIST. ALUM DOOR & FRAME, VERIFY IN GOOD CONDITION FOR REUSE. EXIST. PUSH BAR EXIT. IF REQUIRED, REPLACE SAME SIZE
N2	EXIST. HM DOOR & FRAME, VERIFY IN GOOD CONDITION FOR REUSE. IF REQUIRED, REPLACE SAME SIZE
N3	EXIST. WOOD DR & HM FRAME, VERIFY IN GOOD CONDITION FOR REUSE
N4	EXIST. WOOD DR & WOOD FRAME, VERIFY IN GOOD CONDITION FOR REUSE
N5	
N6	

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DATE: OCTOBER 3, 2022

REVISION DATES

1 SECOND FLOOR EXISTING POWER PLAN
 D4 1/8" = 1'-0"

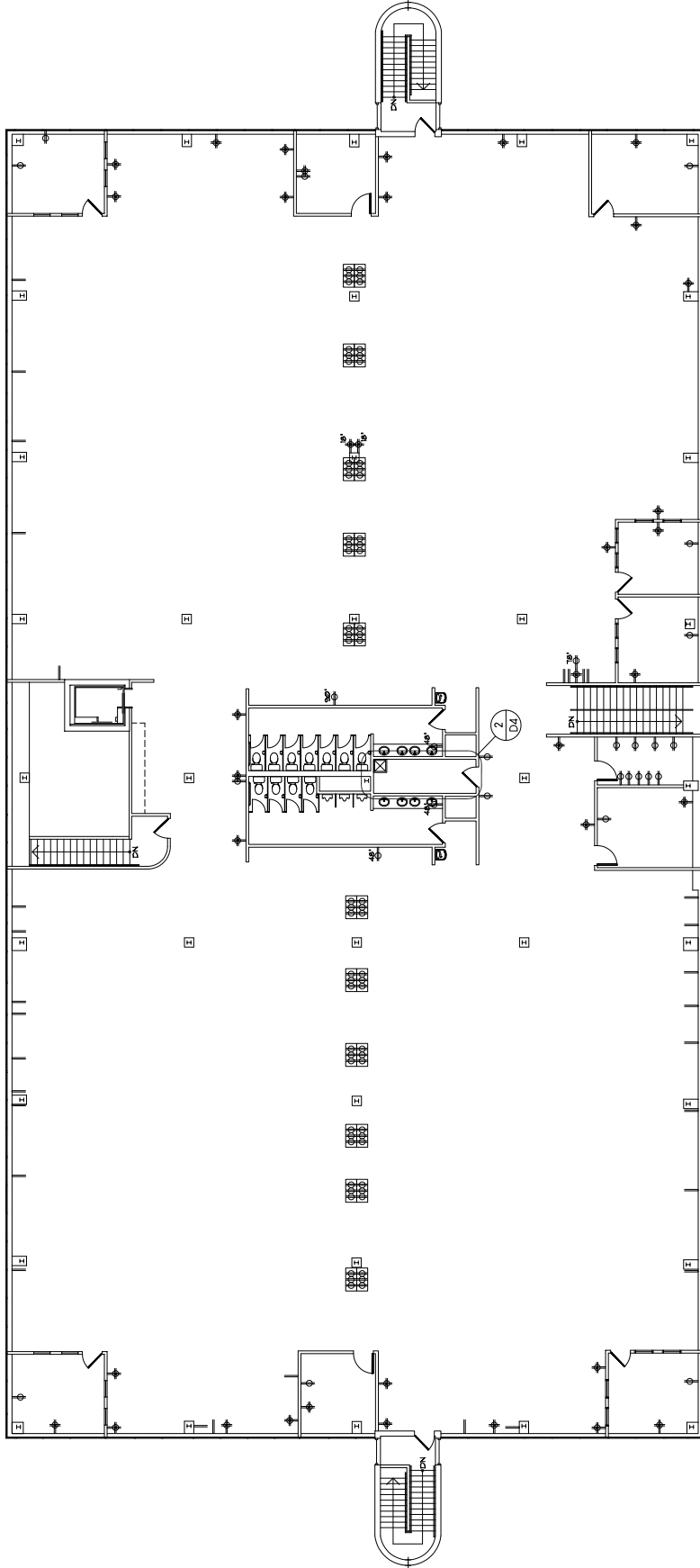
PROJECT:
VISTA COMMUNITY CHURCH
 5626 FRANTZ RD.
 DUBLIN, OHIO 43017

PROJECT NUMBER: CA2025
 SHEET TITLE:

SECOND FLOOR EXISTING
 POWER PLAN

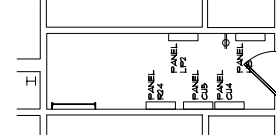
SHEET NUMBER:

D4



ELECTRICAL LEGEND

—	BLANK RECEPTACLE BOX TO BE REMOVED
⊕	RECEPTACLE TO BE REMOVED
⊕	BLANK RECEPTACLE BOX
⊕	DUPLEX RECEPTACLE
⊕	DUPLEX RECEPTACLE W/ MOUNTING HEIGHT
⊕	QUADPLEX RECEPTACLE
⊕	FLOOR RECEPTACLE



2 SECOND FLOOR ELECTRICAL ROOM
 D4 1/4" = 1'-0"

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DATE: OCTOBER 3, 2022

REVISION DATES

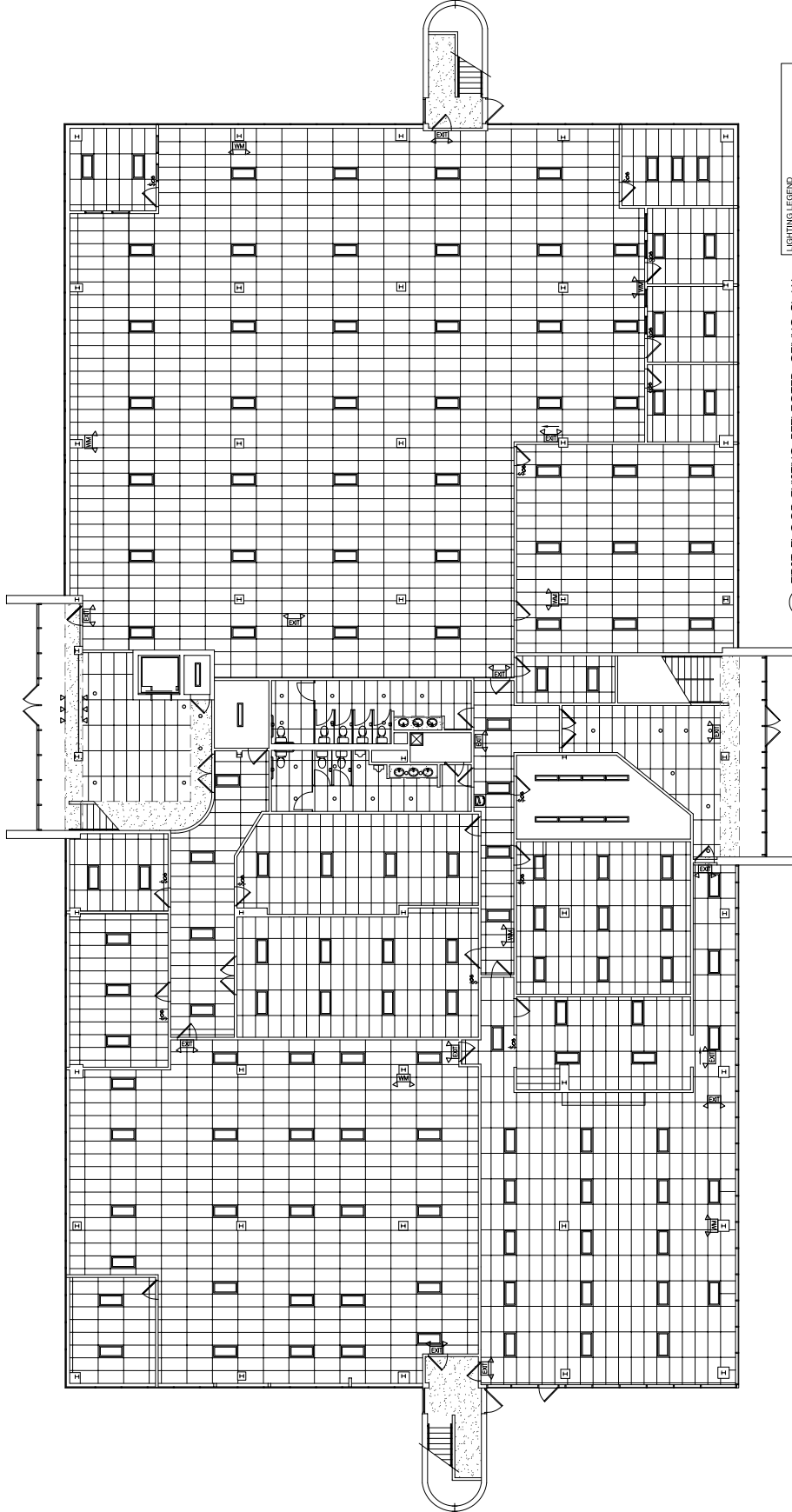
PROJECT:
VISTA COMMUNITY CHURCH
 5626 FRANTZ RD.
 DUBLIN, OHIO 43017

PROJECT NUMBER: 202025
 SHEET TITLE:

**FIRST FLOOR EXISTING
 REFLECTED CEILING PLAN**

SHEET NUMBER:

D5



1 FIRST FLOOR EXISTING REFLECTED CEILING PLAN
 D5 / 1/8" = 1'-0"

LIGHTING LEGEND

- EXPRESS LIGHTING
- EXISTING LIGHTING w/ SUSPENDED FIXTURE
- EMERGENCY LIGHTING
- 2' x 2' IN-LAY LIGHT
- 2' x 4' IN-LAY LIGHT
- 2' x 4' LIGHT TO BE REMOVED OR MOVED
- EXISTING CEILING GRID
- NEW CEILING GRID
- GYPSUM BOARD CEILING
- LIGHT SWITCH w/ OCCUPANT SENSOR
- LIGHT SWITCH

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DATE: OCTOBER 3, 2022

REVISION DATES

PROJECT:

VISTA COMMUNITY CHURCH
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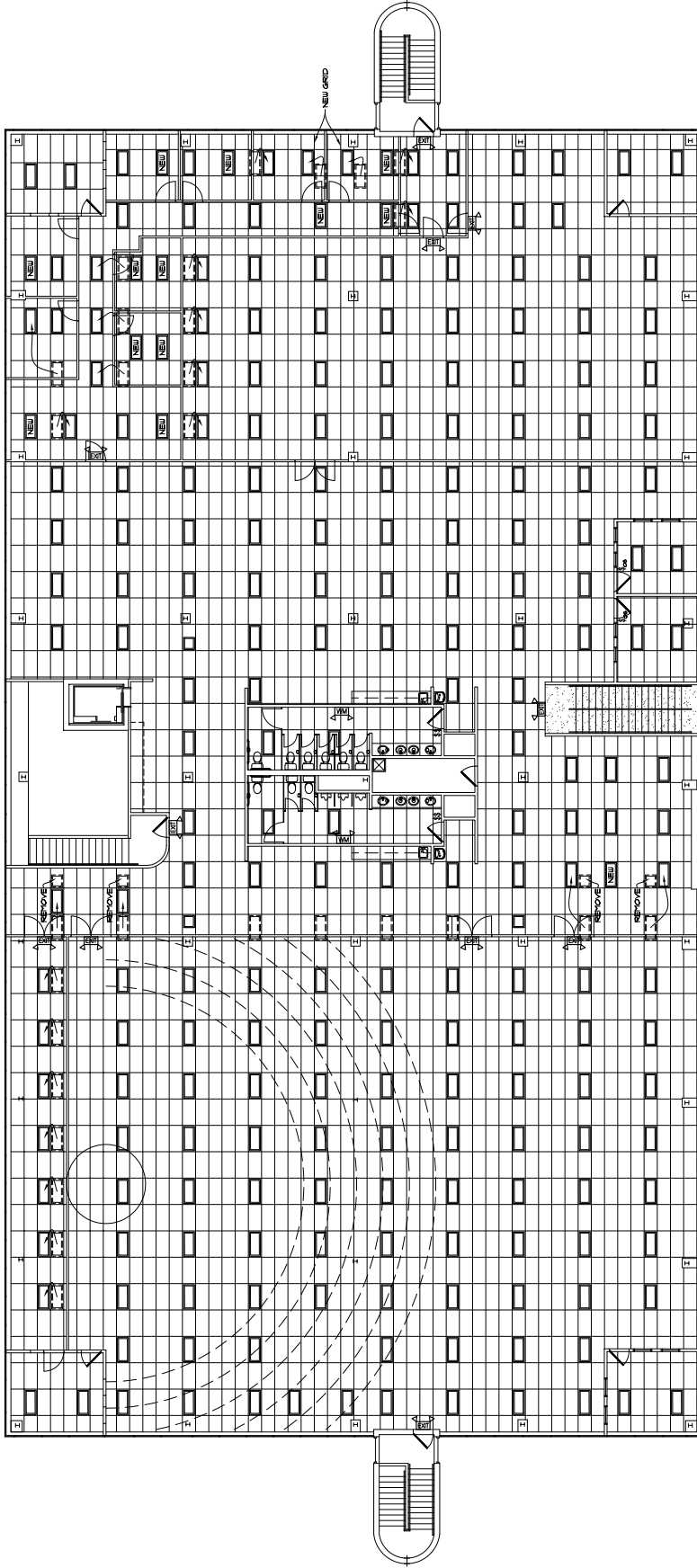
PROJECT NUMBER: 040205

SHEET TITLE:

SECOND FLOOR REFLECTED CEILING PLAN

SHEET NUMBER:

A5



1 SECOND FLOOR REFLECTED CEILING PLAN
 A5 1/8" = 1'-0"

LIGHTING LEGEND

	EXISTING LIGHTING
	EXISTING LIGHTING w/ DIRECTIONAL STORAGE
	EMERGENCY LIGHTING
	2' x 2' R-LAY LIGHT
	2' x 4' R-LAY LIGHT
	2' x 4' LIGHT TO BE REMOVED OR MOVED
	EXISTING CEILING GRID
	NEW CEILING GRID
	OPENWORK BOARD CEILING
	LIGHT SWITCH w/ OPENWORK BOARD CEILING
	LIGHT SWITCH