

5626 Frantz Road
Renovation Status as of February 21, 2024

- 1) Schedule - The goal is to obtain partial occupancy for Beacon Counseling by February 15, 2024 and full occupancy by March 8th. Everything must go according to schedule to meet these dates. **Update: We obtained partial occupancy for Beacon Counseling on February 20, 2024.**

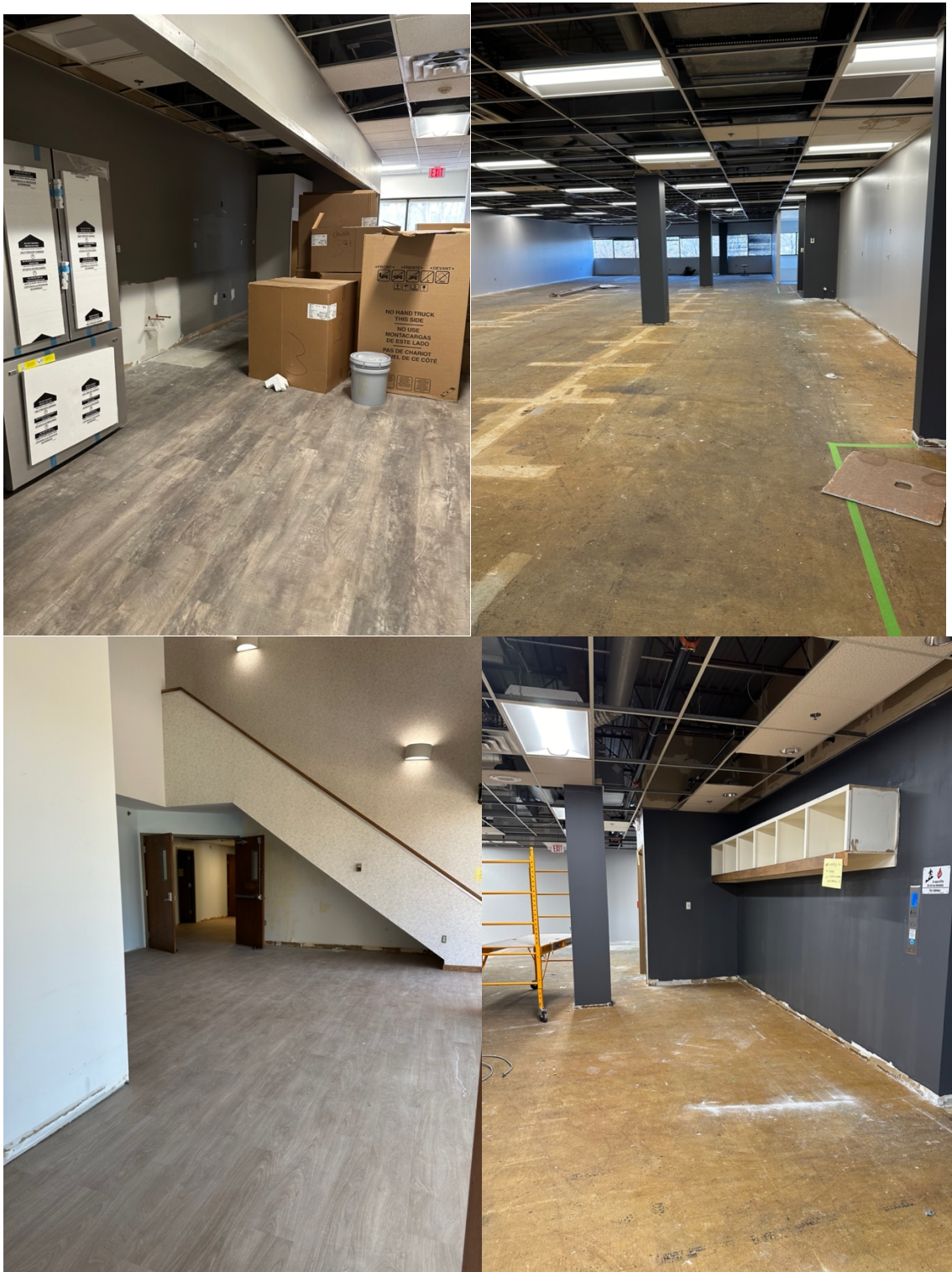
- 2) Items completed since last report:
 - a. For Counseling Suite partial occupancy
 - i. Completed installation of new flooring (contractor)
 - ii. Completed installation of new doors (contractor)
 - iii. Completed installation of new ceiling tile and insulation (contractor)
 - iv. Completed painting/touching up (Vista)
 - v. Completed reinstallation of the ceiling tile (Vista)
 - vi. Fire Alarm system reinspected successfully
 - vii. Sprinkler system reinspected successfully
 - viii. Life Safety inspection completed successfully
 - ix. Carpet vacuumed
 - x. Ledges cleaned
 - xi. Keys/locksets installed
 - xii. Lighting repaired
 - xiii. **Achieved Partial Occupancy on February 20, 2024**
 - b. For Building full occupancy
 - i. Completed drywall finishing (contractor)
 - ii. 95% complete on Worship Area HVAC refurbishment (contractor)
 - iii. Received all kitchen cabinets and appliances (Vista)
 - iv. Repaired tile on 2nd floor restrooms (ADA compliance)(contractor)
 - v. Installed on flooring on 1st floor – still need to install some baseboard (Contractor)
 - vi. 90% complete painting 2nd floor (contractor)
 - vii. Supported replacement of elevator light curtains (Vista)
 - viii. Reprogrammed elevator emergency phone line (Vista)

- 3) Activities scheduled for the week of February 19th:
 - a. For Counseling Suite partial occupancy
 - i. Complete cleaning of mini-blinds and windows(Vista)
 - b. For Building full occupancy
 - i. Begin install finishes in all new restrooms (contractor)
 - ii. Continue painting (common areas, Kids Community)(Vista)
 - iii. **Complete replacement of ceiling grids in Hall 2 (2nd floor)(Vista)**
 - iv. Begin installation of kitchen cabinets (Vista)
 - v. Plumbing final inspection (scheduled for 2/21/24)(Contractor)

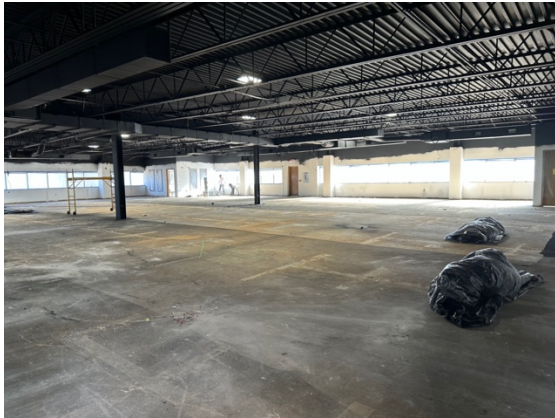
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- vi. Begin final finishes and electrical work in 2nd floor Worship Area (Contractor)
 - vii. **Block all fire dampers open (Contractor)**
 - viii. Install unit heater in sprinkler room (Contractor)
 - ix. HVAC final inspection (scheduled for 2/23/24)(Contractor)
 - x. Continue swinging door installation/adjustment on 1st floor (Contractor)
 - xi. Complete painting on 2nd floor (Contractor)
 - xii. Complete painting on 1st floor (Vista)
- 4) The need for painters has subsided. The need for ceiling tile replacers has increased. Ceiling tile replacement is best performed with a team of two. We will continue to schedule Serving Saturdays to facilitate.
- 5) Other activities that Vista is responsible for include:
- a. Changing out **one** hazy window – to be performed when time permits
 - b. Repairing broken mini blinds – to be performed when identified and as time permits
 - c. Facilitating repair/replacement of damaged ledging
- 6) The building is a construction site, so visitors should be limited to those who are actively working in the building.

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